

Addendum #3

Project: OAHS – 321 John St, Cobourg

Project No.: 251088

Date: June 29, 2026

The following information supplements and/or supersedes the bid documents issued on **June 1, 2026** and **subsequent Addendum**.

This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. Acknowledge receipt of this Addendum by inserting its number and date on the Tender Form. Failure to do so may subject the Bidder to disqualification.

Addenda Documents attached herein.

1. **Section 00 43 11** SUPPLEMENTARY BID INFORMATION FORM.
2. **Section 00 73 00** SUPPLEMENTARY CONDITIONS.
3. **Section 06 11 00** ROUGH CARPENTRY.
4. **Section 09 65 19** RESILIENT TILE FLOORING.
5. **A100** FIRST FLOOR PLAN dated, 2026/06/26.
6. **A102** SECOND FLOOR PLAN dated, 2026/06/26
7. **A103** THIRD FLOOR PLAN, 2026/06/26.
8. **A511** SECTION DETAILS, dated 2026/06/26.
9. **A700** STAIRS, RAMPS & LIFTS, dated 2026/06/26.
10. **A810** INTERIOR DETAILS dated, 2026/06/26.
11. **A900** MILLWORK dated, 2026/06/26.
12. **A920** UNIT PLANS dated, 2026/06/26.
13. **A921** UNIT PLANS dated, 2026/06/26.
14. CMHC Appendix C - Minimum Insurance Requirement.

Clarifications:

Site questions note:

Below is a record of the questions inquired and responded during the site walkthrough.

If bidders find that any question or corresponding answer is missing from this list, they are requested to resubmit it so it can be officially addressed and included in the tender process.

Site Question #0.1: *Site construction staging area during construction.*

Site Response #0.1: Parts 5 to 9 (bottom 2 thirds of the 25 James St and 321 John St site – OAHS building and parking areas), are available for construction staging throughout the construction period.

Tender questions:

Question #3.1: Rough Carpentry – 06 11 00 Please clarify below noted ‘modular’ scope section: **1.3 DESIGN REQUIREMENTS .5** - Construction is required to include off-site Modular and/or panelization construction, as per the CMHC RHI Modular construction definition and as included in the drawings. As per CMHC RHI definition, Modular is defined as: housing units that are partially or fully built in off-site (e.g. a factory, warehouse, or similar facility) by a qualified manufacturer and delivered to the site in whole or in parts and installed on an appropriately zoned and serviced lot. This may range between single, scattered units up to larger multi-unit housing projects.

Response #3.1: This clause was carried over from an earlier version and is no longer required. To clarify, roof trusses must be prefabricated. Prefabrication of other components, such as wall and floor framing systems, is optional in the base bid and left to the bidder's discretion, based on cost schedule and efficiency. Ultimately, bidders may select their preferred construction methods, however, cost will be the primary criteria used to evaluate and select the winning proposal. *Off-site built systems* are being asked as Separate Price 2, as defined in this Addendum #3.

Question #3.2: Rough Carpentry – 06 11 00 Regarding fire rated treated wood; kindly confirm if D-Blaze wood products is approved alternate for this project. (specifications attached).

Response #3.2: We understand the bidder is referring to article 2.1.8. No substitutions or alternative products will be considered during tender beyond the listed in the specifications as acceptable alternatives.

Question #3.3: Who supplies and installs the 28KV primary conductors from the existing pad transformer to the new pad transformer? If we are installing, please provide the size of the 28KV primary cable.

Response #3.3: Please refer to notes 1 and 2 on drawing E1. The following items are excerpts from the Offer to Connect for this project that came from Lakefront Utilities Inc.

REMARKS:

1. Lakefront Utilities Inc. (LUI) "Conditions of Service" and Electrical Safety Authority Regulations apply.
2. Subject to the requirements of Lakefront, supply will be connected after receipt of:

- (a) Customer billing address information and deposits when required.
- (b) Approval(s) from the Electrical Safety Authority.

3. A new underground power supply shall be made available to the customer from a new 300 kVA padmounted transformer to be installed at the location as indicated on customer drawing E-1 revision 4.

4. LUI's scope of work is as follows:

- Terminate primary cables at existing pad-mounted transformer at 25 James Street E, and in the new pad-mounted transformer. Connect customer owned secondary cables in the new transformer.
- Supply and install 1 - 300 kVA three phase padmounted transformer.
- Supply and install 1 bulk meter for the apartment complex.

Customer's scope of work is as follows:

- Supply and install all civil infrastructure, transformer base primary and secondary cables and primary duct. Sufficient cable shall be coiled up in the bases of the pad-mounted transformers for termination and connection by LUI.
 - Register an easement in LUI's name on the property of 25 James Street E for the underground primary cable supply route.
 - Supply Burndy secondary 2-hole lugs (YJA Series).
 - All material supplied and installed by the developer must meet LUI Specifications.
5. Customer to contact Eric Dudley (edudley@lusi.on.ca) regarding metering requirements.
 6. Please ensure a copy of this confirmation is forwarded to your electrician prior to any construction.

Refer to Addendum E4.

Question #3.4: *Please provide the Fire Alarm specifications.*

Response #3.4: Please see item No. 2 on Electrical Addendum No. E2.

Question #3.5: *Will the project use a crane?*

Response #3.5: This item falls under *means and methods* and is the prerogative of the Contractor and/or its sub-contractors.

Question #3.6: *Drawing E3, Single Line Diagram, shows a weatherproof exterior CAM-LOK connection box for a portable generator, but specification 26 32 13 shows the engine generator, which the single line diagram omits. Please clarify.*

Response #3.6: Specification section 26 32 13 for the generator has been deleted in Item No. 1 of Electrical Addendum No. E2.

Question #3.7: *Electrical drawing E1, Site Plan, shows the generator room at the east-north corner, but the other drawings do not show a generator room. Please clarify.*

Response #3.7: Please disregard the reference to a generator room in the north-east corner. The permanent generator has been removed from the project and replaced with a CAM-LOK connection box for a portable generator. The former generator room space is now part of a three bedroom apartment unit 101.

Refer to Addendum E4.

Question #3.8: *Can we use Corline conduit in the slab instead of smooth (non-ribbed) conduit?*

Response #3.8: Please bid in accordance with the specifications and drawings.

Question #3.9: *Can we use aluminum FedderPlex cable with corline conduit in the slab instead of AC-90 Copper cables?*

Response #3.9: Please bid in accordance with the specifications and drawings.

Question #3.10: *Please provide the acceptable manufacturers for the Distribution equipment.*

Response #3.10: Schneider, Eaton and Siemens are acceptable manufacturers.

Refer to Addendum E4.

Question #3.11: *Detail 3/E6, Electrical and Mechanical room enlargement, shows a Main SWBD wireway, Main SWBD breaker and metering, and the Main SWBD distribution sections. However, drawing E3, Single Line Diagram, shows a Main SWBD breaker and metering, and Metering sections connected with a 1600A Bus to the Distribution panel DP-1. Please clarify.*

Response #3.11: The distribution panel DP-1 shown on the single line diagram is to be part of the main switchboard distribution sections and not a separate item No. 3 as noted on Detail 3 on drawing E6. Please delete this separate item 3 from Detail 3 on drawing E6. We anticipate that an additional distribution section will be required on the main switchboard. These changes are noted on revised drawing E6 dated 26/06/25 "Issued for Addendum No. E4".

Refer to Addendum E4.

Question #3.12: *On Drawing SS-1, there is a note stating that this GC is to cap and abandon existing water line to former single family residence at 321 John street at watermain within John street and inspect. Please confirm this is already completed and not a part of this contract.*

Response #3.12: This question will be clarified at a subsequent Addendum.

Question #3.13: *On drawing SG-1 a. Please confirm that 5.05M, 9.31M & 12.02M curb cuts and patches are not a part of this contract*

Response #3.13: The curb cuts and curb restoration are part of this contract.

Question #3.14: *On drawing SG-2, section B-B please provide the extend/scope of :
a. Proposed paver patio shown in this section. There is reference to landscaping drawings, we failed to find this paver patio on landscaping drawings.*

Response #3.14: This question will be clarified at a subsequent Addendum.

Question #3.15: *On drawing SG-2, section B-B please provide the extend/scope of :
b. The retaining wall at building as per this cross section. This is not shown on drawing L1.*

Response #3.15: This question will be clarified at a subsequent Addendum.

Question #3.16: *On drawing SG-2, section B-B please provide the extend/scope of :
c. Proposed fence. This is not shown on landscaping drawings.*

Response #3.16: This question will be clarified at a subsequent Addendum.

Question #3.17: *On drawing L1
a. Is Exterior amenity space precast unit paver? 2/L3?*

Response #3.17: Correct, Landscape Addendum #2 drawings include a detail key confirming.

Question #3.18: *On drawing L1
b. F1 and F2 at garbage area are bollards? Signs? Please provide details for these items.*

Response #3.18: Labels F1 and F2 are bollard lighting. Refer to drawing E1 for lighting tag numbers and E2 for the lighting schedule and details. A label has been added to Landscape Addendum #2 drawings referencing the Electrical Plans.

Question #3.19: *On drawing L1*

c. Are the circles shown at John ST. Compact Car parking stalls, parking signs? Please provide details.

Response #3.19: Compact car signage is provided on Site Plan drawing A010, a label has been added to Landscape Addendum #2 drawings referencing the Site Plan.

Question #3.20: INSTRUCTIONS TO BIDDERS - 00 21 13 - Page 5

10 PROJECT REQUIREMENTS

10.1 *As per the Government of Canada and CMHC Build Canada Homes (BCH) Investment Policy Framework November 2025 (Revised) funding requirements, construction is required to include:*

.1 Modern methods of construction – including, but not limited to, factory and/or off-site built systems and rapid assembly.

1) Is there panelized construction mandated for this project?

Response #3.20: Refer to **Response #3.1.**

Question #3.21: 06 11 00, under 1.3 Design Requirements, clause .5 (page 2).

2) Please clarify where specification notes "is required to include off-site Modular and/or panelization construction," per the CMHC RHI Modular construction definition and as included in the drawings. It then gives the CMHC RHI definition: housing units partially or fully built off-site (factory, warehouse, or similar) by a qualified manufacturer, delivered to site in whole or in parts, and installed on an appropriately zoned and serviced lot — ranging from single scattered units up to larger multi-unit projects.

Response #3.21: Refer to **Response #3.1.**

Question #3.22: 06 11 00, under 1.3 Design Requirements, clause .5 (page 2).

*3) Confirm for above inquiries for 00 21 13 & 06 11 00 – is there is any panelized construction for this project? The clause says "Modular **and/or** panelization." The "and/or" leaves room — it could be satisfied by panelization alone (e.g. wall panels shop-built) rather than full volumetric modular. It doesn't dictate which, or how much, is off-site. It also defers to "as included in the drawings," meaning the actual extent is wherever the drawings show it, it doesn't show an explicit modular/panel scope callout on the structural or architectural sheets reviewed — the framing is drawn conventionally.*

Response #3.22: Refer to **Response #3.1.**

Question #3.23: MASONRY - 04 20 00

4) Section 04 20 00 states that the masonry contractor is to be a member in good standing of the Ontario Masonry Contractors' Association (OMCA).

Can you confirm whether this is a mandatory requirement for masonry bidders on this project?

Response #3.23: Yes it is, as stated in the listed sentence.

Question #3.24: PLUMBING FIXTURES AND TRIM – 22 42 13

5) MECHANICAL SPECIFICATIONS table of contents notes Section 22 42 13 PLUMBING FIXTURES AND TRIM (To be Issued in Addendum M-001) – M-001 does not provide clarification to plumbing fixture specifications please confirm if this will be addressed in subsequent mechanical Addendum M-002

Response #3.24: Refer to response in Mechanical Addendum M-002.

Question #3.25: DOMESTIC WATER PIPING AND VALVES - 22 11 17

6) Is Uponor PEX piping acceptable alternate for in suite domestic supply piping?

Response #3.25: Refer to response in Mechanical Addendum M-002.

Question #3.26: Could you please consider and approve the items listed below as equal to those specified for the OAHS 321 John St, Coburg tender?

Section	Tag	Product	Manufacturer
23.81.29	CU-1,2,3,4	Variable Refrigerant Flow (VRF) Equipment	MIDEA
23.81.29	FCU-01 to FCU-310	Variable Refrigerant Flow (VRF) Equipment	MIDEA
23.81.29	BC-1,2,3	Variable Refrigerant Flow (VRF) Equipment	MIDEA

Response #3.26: Refer to response in Mechanical Addendum M-002.

Question #3.27: Please also question the FSC lumber requirements while confirming the fire-retardant lumber.

1. **FSC-certified lumber** — Section 2.1 Materials, clause .1.3 (page 4): "All dimensional lumber and plywood to be FSC certified." There's also a related clause .1.2 ("Certified wood") in the same general-materials list.

Question #3.28: Please also question the FSC lumber requirements while confirming the fire-retardant lumber.

2. The fire-retardant requirements are in two places in Section 06 11 00:
 - **The product spec** — Section 2.1 Materials, clause .8 (page 5): Fire-retardant treatment of lumber and plywood (interior and protected locations) is to be 'Dricon FRT' fire retardant treatment by Biewer Lumber or approved

alternative, conforming to **ASTM E84**, to provide a **flame spread rating of 25 or less**.

- **Where it's used** — Section **3.3 Miscellaneous Woodwork**, clause **.6** (page 7): use fire-retardant lumber for blocking/framing in **ceiling spaces, partitions, and bulkheads**. Also **3.6 Backboards** (page 7): plywood backboards are primed and painted white both sides with **fire retardant paint** — note that's a painted finish, not FRT-treated plywood, so it's a different item.

If Dricon is required, a few practical details worth attaching:

The Dricon spec is explicitly limited to "interior and protected locations." FRT chemistry isn't for weather-exposed use, which lines up — exterior and below-grade wood falls under the pressure-treatment clause (2.1.3, copper-based to CAN/CSA O80) instead, not FRT.

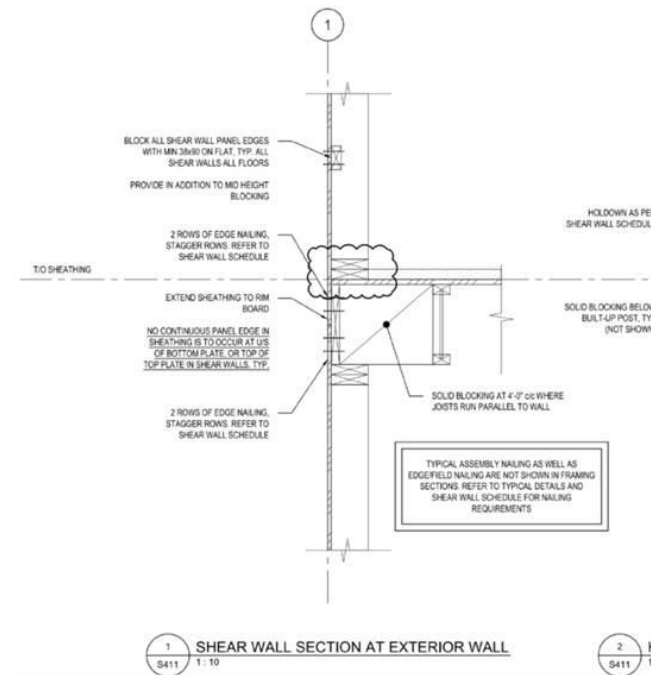
*Fasteners and connectors in FRT wood must be **hot-dip galvanized to CAN/CSA G164-M** (clause 2.1.9.5, page 5). FRT chemicals can be corrosive to plain steel, so this matters for hardware line items.*

*Each piece of fire-retardant-treated lumber must be **shop-marked with the ULC monogram** per CAN/CSA O80-M (clause 1.5.6, page 3). Does this require each piece of blocking to be shop-marked?.*

What the spec nor the drawings give you is the quantity or a marked extent — it tells you the product and the general locations (ceiling-space blocking, partition/bulkhead framing).

Also as mentioned: Sheathing detail you will need to consider.

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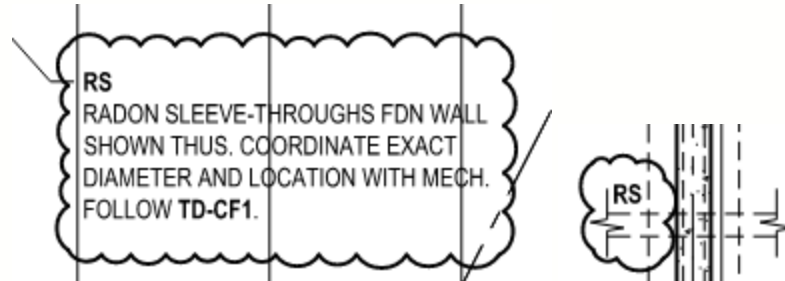


Bidder follow up clarification to Questions 3.27 and #3.28: *My question for rough carpentry was that the verbiage used in the spec for this category is implying a modular panelized system for shear walls; please clarify if this is what we should be pricing for base bid. Sincerely appreciate your email.*

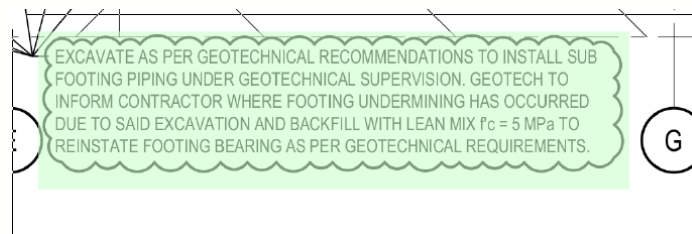
Responses #3.27 and #3.28: None of the structural lumber should be pressure or fire-retardant treated. 06 11 00 only requires fire-retardant treatment for non-structural framing (fire block partitions, ceiling down-framing, bulkhead framing, etc). Also refer to **Response #3.1**.

Question #3.29: *On structural drawing S201, there are notes on foundation sleeves for radon referring to geotechnical recommendations to install sub footing piping. We did not find any recommendations on radon piping in geotechnical report. Please advise.*

Response #3.29: Mechical drawings show radon as sub slab, not sub-footing. This is the note relevant to radon sleeves. Radon sleeves marked with "RS" in the addendum drawings.



Question #3.30: Also, these radon sleeves are installed through foundation walls as per notes on S201, the note referring to geotechnical report for radon sleeves (on S201) refers to lean concrete backfill. Where exactly this lean concrete need to be installed?



Response #3.30: Just a clarification, but the sub-footing sleeves are not for radon. The note that Mehdi is referencing for sub-footing pipes explains the excavations. Scope of excavation to achieve founding footing depths and capacities noted on drawings are means and methods and the responsibility of the contractor. Geotech to supervise excavation on site and ensure building footings have not been undermined at any time. Any and all excavation adjacent to building footings to follow recommendations in Geotech report and shall not undermine footings. If undermining is expected, excavate and backfill with lean mix concrete under geotechnical supervision and direction to ensure no permanent undermining of footings.

Question #3.31: As this is a wood-structure building and construction insurance costs are relatively high, we want to ensure this item is not missed. Please confirm that All Risk Insurance will be carried by the Owner for this project, in accordance with SC57.2.

Response #3.31: All insurance requirements are to be met by the General Contractor. Refer to Appendix C – Minimum Insurance Requirement, by CMHC for additional coverages not included in the tender documents. In the event of any discrepancies between the two documents, the more stringent requirement apply.

Question #3.32: Kilmer is requesting that their equipment be approved as an alternate for the specified equipment in the dwgs. Please see the attached RFE letter.

Response #3.32: Only Daikin and Mitsubishi will be accepted for the VRF equipment. Refer to Mechanical Addendum M-002.

Question #3.33: *RESILIENT TILE FLOORING - 09 65 19 Subsection 1.4 QUALITY ASSURANCE clause .1 states;*

.1 LEED requirements:

.1 The LEED requirements shall apply to all Sections and Work for this Project, whether specifically indicated or not.

.2 Compliance with requirements needed to obtain LEED prerequisites and credits will be used as one criterion to evaluate requests for substitutions or alternates.

Please confirm this is a LEED project or to what extent is CG reasonability?

Response #3.33: LEED requirements in Section 09 65 19 are a left over from a different project. This is not a LEED project. Deleted. Refer to revised Section 09 65 19 issued with this addendum.

Question #3.34: *In the project specifications it notes mason contractors to provide proof of OMCA membership, aluminum roof panel & siding/ soffit contractors provide CRCA & OMCA memberships respectively and finish hardware companies to be registered with BHMA – is this opportunity open to non-members for noted associations/ memberships?*

Response #3.34: No.

Bidders are asked to inform the consultant, within two (2) business days of issuance of this Addendum, if any of their questions have not been answered in this Addendum.

Specifications:

Specifications Revisions:

1. Section 00 43 11 SUPPLEMENTARY BID INFORMATION FORM

1.1 Revise clause 4.2.1 Separate Price 1 to read as follows:

Delete: “reserved”

Add: “Supply and installation of continuous hot dip galvanized shelf angle at base of brick veneer per detail 1 A511 and Section 05 50 00.”

1.2 Add clause 4.2.2 Separate Price 2 to read as follows:

Add: “4.2.2 **Separate Price 2:** Supply and installation of off-site built structural wall and floor framing systems and site assembly construction. Off-site built systems and site assembly is defined as: elements that are partially or fully built in and off-site facility (this may range between, for e.g., a factory, warehouse, or similar facility, by a qualified manufacturer or framer), and delivered to the site in whole or in parts

and installed, in lieu of supply and standard on-site erection of stick frame wood construction.”

2. Section 00 73 00 SUPPLEMENTARY CONDITIONS

2.1 Revise clauses SC57.2 11.1, 11.1.21 11.1.3 and 11.1.4 to read as follows in their first sentence:

Delete: “Owner”

Replace by: “Contractor”

3. Section 06 11 00 ROUGH CARPENTRY

3.1 Revise clause 1.3.5 to read as follows:

Delete: delete fully clause 1.3.5.

4. Section 09 65 19 RESILIENT TILE FLOORING

4.1 Revise clause 1.4.1 to read as follows:

Delete: delete fully clause 1.4.1.

4.2 Revise clause 2.1.10 to read as follows:

Replace by: “Collapsible Shower Threshold Water Dam: Duzzy 67 inch, Silicone Shower Water Stopper Barrier, suitable for Accessible AODA, or approved alternative.”

Architectural Drawings:

Please note that the Architectural Drawings have been revised in multiple sheets. For clarity and to facilitate tracking by bidders, **all revisions have been bubbled**.

Drawing Revisions:

1. A100 FIRST FLOOR PLAN

DELETE: A100 FIRST FLOOR PLAN, dated 2026/06/17

ADD: A100 FIRST FLOOR PLAN, dated 2026/06/26

REVISIONS:

- D115 moved +/- 300 mm Eastward.
- Callouts for TYPICAL and Sim. (Similar) details 8 A500 and 9 A500 added.

2. A102 SECOND FLOOR PLAN

DELETE: A102 SECOND FLOOR PLAN, dated 2026/06/17

ADD: A102 SECOND FLOOR PLAN, dated 2026/06/26

REVISIONS:

- Callouts for TYPICAL and Sim. (Similar) details 8 A500 and 9 A500 added.

3. A103 THIRD FLOOR PLAN

DELETE: A103 THIRD FLOOR PLAN, dated 2026/06/17

ADD: A103 THIRD FLOOR PLAN, dated 2026/06/26

REVISIONS:

- Callouts for TYPICAL and Sim. (Similar) details 8 A500 and 9 A500 added.
4. A511 SECTION DETAILS
DELETE: A511 SECTION DETAILS, dated 2026/06/17
ADD: A511 SECTION DETAILS, dated 2026/06/26
REVISIONS:
- Detail 1 A511: Shelf angle added at B/O of brick veneer as Sperate Price 1.
 - Detail 1 A511: Foundation waterproofing designation revised to “FWP-1” to match designation in specification section.
5. A700 STAIRS, RAMPS & LIFTS
DELETE: A700 STAIRS, RAMPS & LIFTS, dated 2026/06/17
ADD: A700 STAIRS, RAMPS & LIFTS, dated 2026/06/26
REVISIONS:
- Multiple dimensions and tags added throughout.
 - Detail 7 A700: deleted 2mm steel plate and trim reveal at face and B/O of stair stringer.
 - Detail 7 A700: Term “Galvanized” deleted from guard and railing note tags.
 - Detail 7 A700: Stair A Section added.
6. A810 INTERIOR DETAILS
DELETE: A810 INTERIOR DETAILS, dated 2026/06/17
ADD: A810 INTERIOR DETAILS, dated 2026/06/26
REVISIONS:
- Details 8 and 13 A810 added.
7. A900 MILLWORK
DELETE: A900 MILLWORK, dated 2026/06/17
ADD: A900 MILLWORK, dated 2026/06/26
REVISIONS:
- Bottom cabinets finished revised to PLM-1a and Top cabinets finished revised to PLM-1b, throughout, to match specification section.
 - PLM-1a finish tags added to full height cabinets.
8. A920 UNIT PLANS
DELETE: A920 UNIT PLANS, dated 2026/06/17
ADD: A920 UNIT PLANS, dated 2026/06/26
REVISIONS:
- Note 8 added to UNIT DRAWING NOTES.
 - Note 8 added to 4 A920.
 - Ceiling Bulkhead added to 2 A920.
9. A921 UNIT PLANS
DELETE: A921 UNIT PLANS, dated 2026/06/17
ADD: A921 UNIT PLANS, dated 2026/06/26
REVISIONS:

- Note 8 added to UNIT DRAWING NOTES.
- Note 8 added to 3 A921.

Mechanical Drawings and Specifications:

Refer to Mechanical Addendum M-002, dated June 25, 2026.

Electrical Drawings and Specifications:

Refer to Electrical Addendum No. E4, dated June 25, 2026.

Landscape Drawings and Specifications:

Refer to Landscape Addendum #2, dated June 26, 2026.

-- END OF ADDENDA #3 --